

REPORT NO: CRVW S1-3/2022/07

# PROJECT PROGRESS REPORT

JULY 2022



**DEVELOPER:**



SAS e GLUT JV Pvt Ltd

**CONTRACTOR:**



**GLUT Investments**  
private limited

**PROJECT TITLE:** MIXED USE RESIDENTIAL COMPLEX AT HULHUMALE (THE CREEK VIEW)  
**DEVELOPER:** SASe GLUT JV PVT. LTD.  
**CONTRACTOR:** GLUT INVESTMENTS PVT. LTD.  
**LOCATION:** LOT NO: S1-3, LOT: 11445 HULHUMALE', MALDIVES

**PROJECT BREIF:**

The Creek View at Hulhumale Phase-1 is a pristine, spacious condominium project brought to you by the company SASe Glut Joint-venture Private Limited. The development is located at Lot 11445, Kuredhimaa Hingun overseeing the creek separating phase I and phase II of Hulhumale'.

The building comprises 114 apartments with 2 room, 3 room and 4 room units, each carefully designed to ensure the separation of spaces with special attention given to privacy and offer a homely feeling. Each apartment has a mini backyard with access from the kitchen. The kitchens are designed as enclosed spaces separated by masonry and glass partitions.

The apartment units are designed to make the most of natural air and light ventilation with floor to ceiling high windows. These large windows are also placed with an offset from the periphery to prevent direct sun and rain exposure. As many prefer to shape every element of their home environment, carefully choosing their furniture, curtain & paint, we find it best to engage prospective tenants during the interior design process. Those looking to occupy the new home hassle-free have the option to choose from fully fitted, furnished units that come in a different configuration of colour, style & décor.

The access to the residential units is well separated from the commercial area on the ground and the first floor to ensure privacy and safety to tenants. In addition, the entrance lobby is designed with a waiting & meeting area for visitors, limiting visitors' access to apartment floors.

Parking is arranged at the basement, ground and first floor with the basement exclusively for car parking. Amenities such as the pool and playgrounds are at ground level. At the same time, all utility services are located at the service lobby to avoid direct contact with any service team member. A separate service elevator will be allocated for the use of the service team for transporting furniture items and trash bins.

## 1.0 PROJECT PROGRESS REPORT BREIF

- 1.1 All permits and project documentation requirements are submitted and process accordingly.
- 1.2 Drawings and details are submitted and approved.
- 1.3 All land concern and preparation are addressed in coordinated according to the local government requirements.
- 1.4 All necessary activities and preparation are in progress.

## 2.0 CURRENT STATUS

### 2.1 Materials and Equipment's Procurement

- 2.1.1 Material Procurement – In progress

### 2.2 Labor Recruitments

- 2.2.1 In-progress

### 2.3 Project Progress Meeting by HDC

- 2.3.1 Date: July 06, 2022 (6<sup>th</sup> Progress Meeting)

### 2.4 Site Coordination Meeting with Consultants

- 2.4.1 Date: July 13, 2022 (Inspection)
- 2.4.2 Inspection report No. IRF-S-13004

### 2.5 Shop Drawing

- 2.5.1 Structural shop drawing
  - 2.5.1.1 Foundation beam reinforcement drawings and bar bending schedules
  - 2.5.1.1 Retaining wall reinforcement drawing
  - 2.5.1.1 Column reinforcement drawing and bar bending schedules
  - 2.5.1.1 Lift wall and staircase starter
- 2.5.2 Architectural shop drawing – In progress
  - 2.5.2.1 Ramp section drawing
  - 2.5.2.1 Sump pit location drawing

### 2.6 Dewatering Permit

- 2.6.1 2<sup>nd</sup> Extension Approved Date: July 27, 2022

### 3.0 ONGOING WORKS

- 3.1 Dewatering – On going
- 3.2 Retaining wall (Reinforcement and Formwork) Installation at 1 meter level – (done)
- 3.3 Foundation beam reinforcement installation – (90% - Done)
- 3.4 Fabrication of raft and foundation beam reinforcement – On going
- 3.5 Below ground column reinforcement installation
- 3.6 Threading of foundation beam main bars (32mm & 25mm) – (done)
- 3.7 Threading of columns beam main bars (32mm & 25mm) – On-going

### 4.0 UPCOMING WORKS FOR NEXT MONTH

- 4.1 Dewatering
- 4.2 Below ground column reinforcement fabrication and installation
- 4.3 Below ground columns formworks
- 4.4 Raft foundation (Reinforcement and Formwork)
- 4.5 Foundation beam (Reinforcement and formwork)
- 4.6 Foundation raft and beam concrete
- 4.7 Retaining wall reinforcement and formworks
- 4.8 Concrete damp proofing

### 5.0 ACCIDENT REPORT

- 5.1 Minor collision of neighboring tower crane (SJ site)

### 6.0 CHALLENGES FACED DURING CONSTRUCTION / IMPLEMENTATION

- 6.1 Material rate escalation
- 6.2 Weather disturbance due to isolated heavy rains (weather chart)

## 7.0 INSTRUCTION GIVEN ON SITE

7.1 Final drawing layout and details for foundation (Date: 02 July, 2022)

7.2 Final basement sump pit location (Date: 23 July, 2022)

## 8.0 DOCUMENTATION OF APPROVED MATERIALS

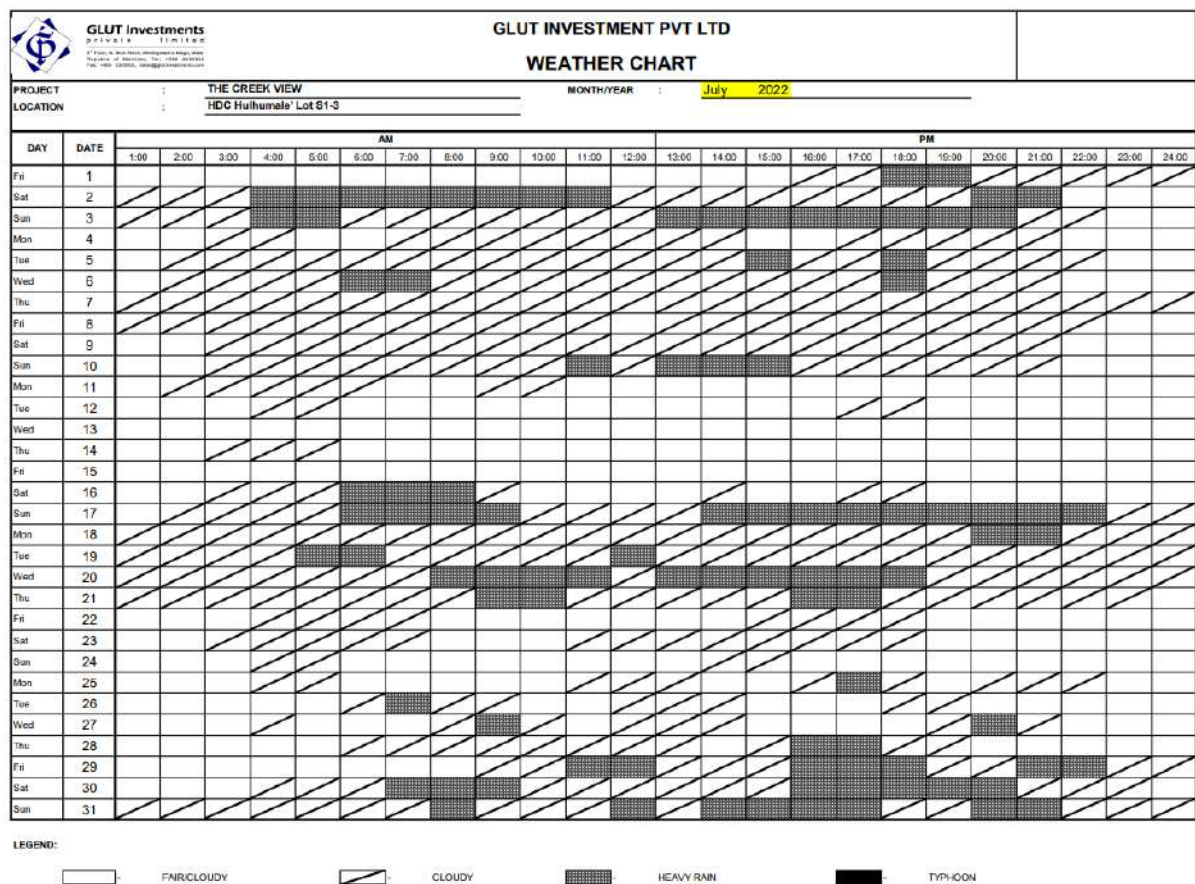
8.1 Steel Reinforcement – Submitted for approval

8.2 Concrete Cement Mix – Waiting for Documentation

8.3 Concrete Mix Admixture – Submitted for approval

## 9.0 Weather Chart

9.1 July 2022





**10.0 SITE PROGRESS PHOTO**

10.1 July 2022 Site Photos



Retaining Wall Reinforcement



Tower Crane Erection



Columns Reinforcement



Foundation Beam Reinforcement



Foundation Beam Reinforcement



Safety Toolbox Meeting

PREPARED AND SUBMITTED BY GLUT INVESTMENTS PVT. LTD.

**Prepared By:**

  
Rodel Rosales  
Civil Engineer (Glut)

**Checked By:**

Ali Riyaz  
Project Consultant