

PROJECT PROGRESS REPORT

December 2023



DEVELOPER:



SAS e GLUT JV Pvt Ltd

CONTRACTOR:



GLUT Investments
private limited

PROJECT TITLE: MIXED USE RESIDENTIAL COMPLEX AT HULHUMALE (THE CREEK VIEW)
DEVELOPER: SASe GLUT JV PVT. LTD.
CONTRACTOR: GLUT INVESTMENTS PVT. LTD.
LOCATION: LOT NO: S1-3, LOT: 11445 HULHUMALE', MALDIVES

PROJECT BREIF:

The Creek View at Hulhumale Phase-1 is a pristine, spacious condominium project brought to you by the company SASe Glut Joint-venture Private Limited. The development is located at Lot 11445, Kuredhimaa Hingun overseeing the creek separating phase I and phase II of Hulhumale'.

The building comprises 114 apartments with 2 room, 3 room and 4 room units, each carefully designed to ensure the separation of spaces with special attention given to privacy and offer a homely feeling. Each apartment has a mini backyard with access from the kitchen. The kitchens are designed as enclosed spaces separated by masonry and glass partitions.

The apartment units are designed to make the most of natural air and light ventilation with floor to ceiling high windows. These large windows are also placed with an offset from the periphery to prevent direct sun and rain exposure. As many prefer to shape every element of their home environment, carefully choosing their furniture, curtain & paint, we find it best to engage prospective tenants during the interior design process. Those looking to occupy the new home hassle-free have the option to choose from fully fitted, furnished units that come in a different configuration of colour, style & décor.

The access to the residential units is well separated from the commercial area on the ground and the first floor to ensure privacy and safety to tenants. In addition, the entrance lobby is designed with a waiting & meeting area for visitors, limiting visitors' access to apartment floors.

Parking is arranged at the basement, ground and first floor with the basement exclusively for car parking. Amenities such as the pool and playgrounds are at ground level. At the same time, all utility services are located at the service lobby to avoid direct contact with any service team member. A separate service elevator will be allocated for the use of the service team for transporting furniture items and trash bins.

1.0 PROJECT PROGRESS REPORT BREIF

- 1.1 All permits and project documentation requirements are submitted and process accordingly.
- 1.2 Drawings and details are submitted and approved.
- 1.3 All land concern and preparation are addressed in coordinated according to the local government requirements.
- 1.4 All necessary activities and preparation are in progress.

2.0 CURRENT STATUS

2.1 Materials and Equipment's Procurement

2.1.1 Material and Equipment Received

- 2.1.1.1 Steel Bars, Cement, Sand, Aggregates, Pipes, Blocks, Tiles, Putty, paint and wire

2.2 Project Progress Meeting by Urbanco

- 2.2.1 Date: No Meeting was conducted

2.3 Site Coordination Meeting with Consultants

- 2.3.1 Date: .26 Dec,31 Dec.2023

2.4 Site Coordination Meeting with Sase – Glut

9th December 2023

2.5 Issue for Construction Drawing

2.5.1 Structural drawings

- 2.5.1.1 Structural Floor Plans – Partial Received

2.5.2 Architectural drawings

- 2.5.2.1 Architectural Floor Plans – Partial Received

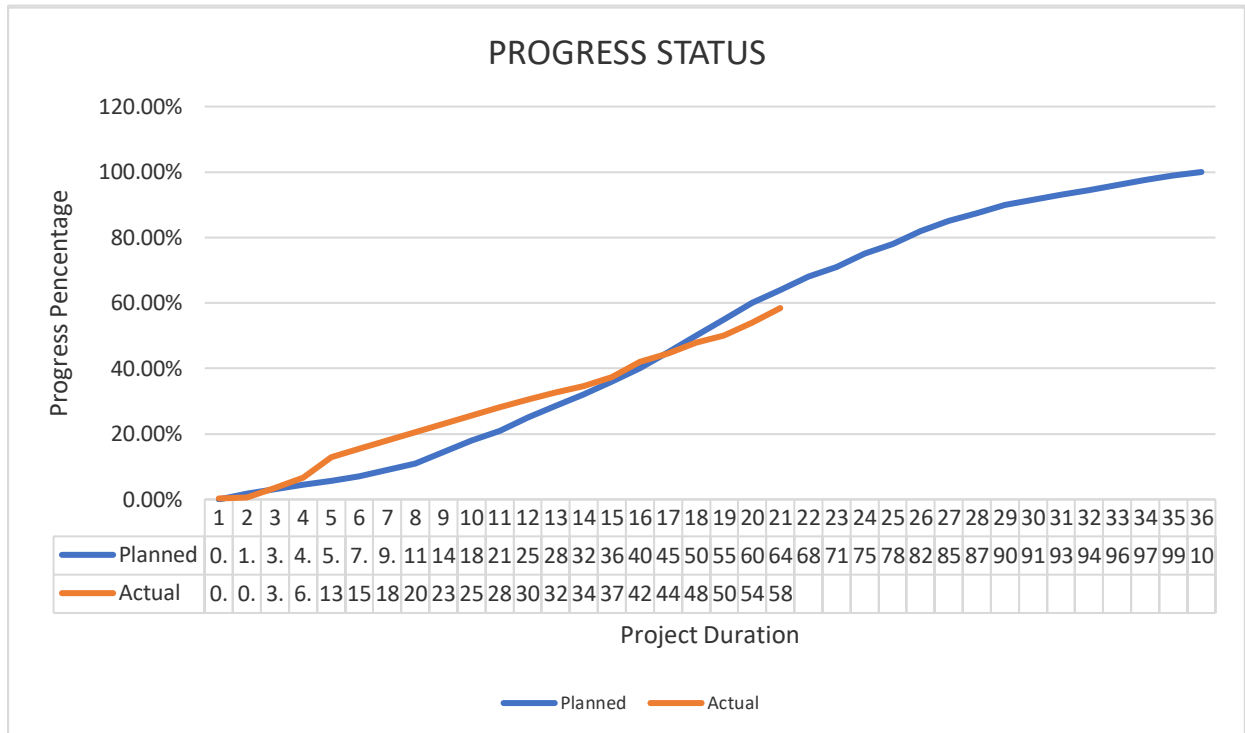
2.5.3 Electrical drawings

- 2.5.3.1 Electrical Floor Plans – Partial Received

2.5.4 Electrical drawings

- 2.5.4.1 Plumbing Floor Plans – Partial Received

2.6 Project Status



3.0 ONGOING/COMPLETED WORKS

- 3.1 13th floor beam and slab casting.
- 3.2 12th floor slab soffit de-shuttering works
- 3.3 11 and 12th floor block work continues
- 3.4 12th floor masonry preparation
- 3.5 12th floor concrete kicker preparation
- 3.6 9th and 10th floor internal plastering almost completed
- 3.7 11th and 12th floor internal plastering continues
- 3.8 12th floor internal plastering started
- 3.9 Safety net installation and scaffolding internal perimeter

4.0 UPCOMING WORKS FOR NEXT MONTH

- 4.1 Terrace floor columns, lift wall and stair reinforcement fabrication and RCC
- 4.2 Terrace floor mummy slab, and parapet wall formwork and RCC complete
- 4.3 Exterior plastering will continuous
- 4.4 13th floor kicker, block work
- 4.5 11th and 12th floor block work and plastering work complete
- 4.6 Safety net installation and internal perimeter scaffolding installation

5.0 ACCIDENT REPORT

5.1 No accident was reported

6.0 CHALLENGES FACED DURING CONSTRUCTION / IMPLEMENTATION

6.1 Weather disruption due to heavy wind and rain (see weather chart–9.0)

7.0 INSTRUCTION GIVEN ON SITE

7.1 Minutes of meeting dated: 7 Dec 2023, 14 Dec 2023, 21 Dec 2023 and 28 Dec 2023

8.0 DOCUMENTATION OF APPROVED MATERIALS

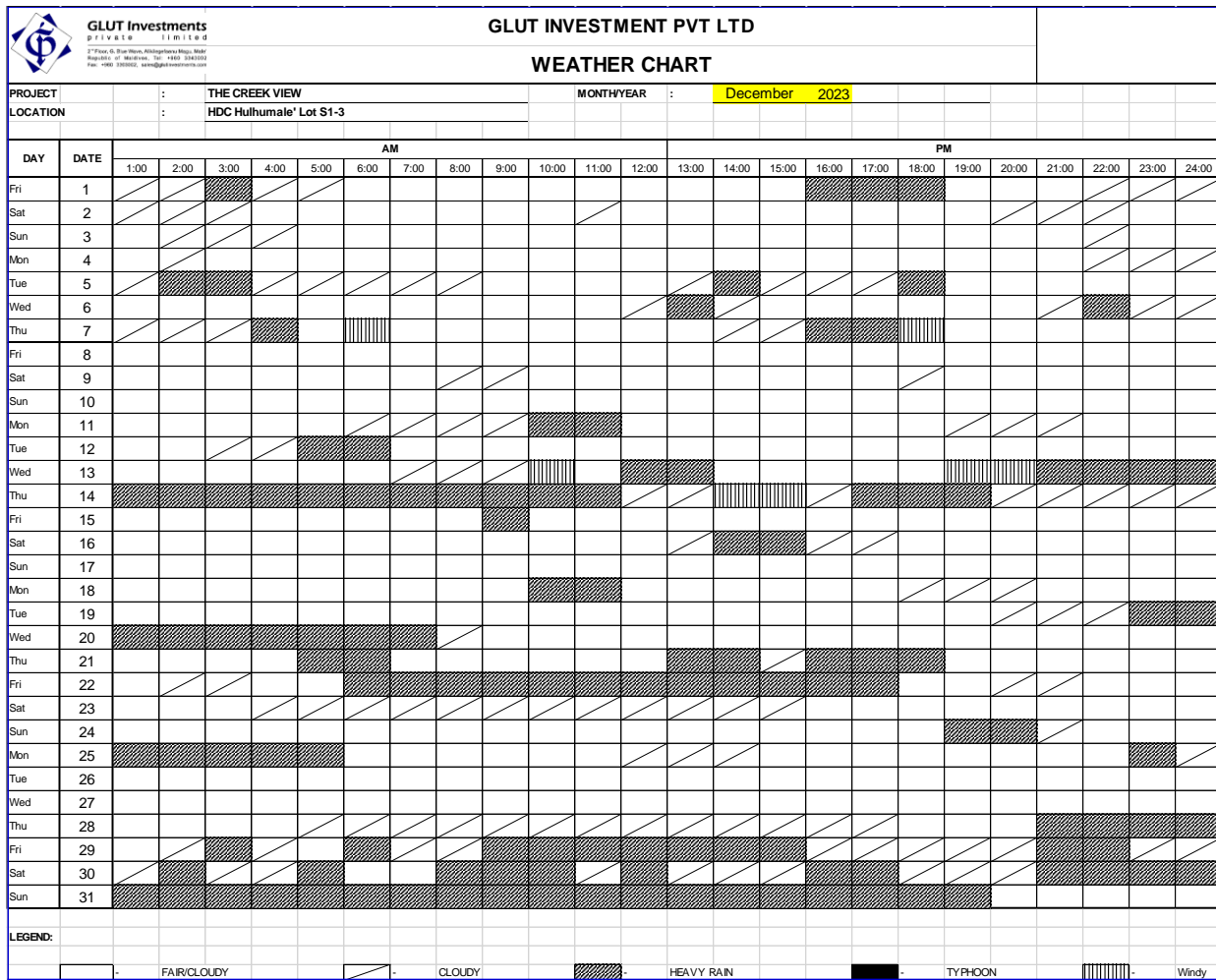
8.1 Cube Test Report

8.1.1 13th Floor Slab

8.1.2 13th floor Floor Columns and Lift wall

9.0 WEATHER CHART

9.1 December 2023



2022		
Months	Rainy Days	Days to Claim
March	5	5
April	11	11
May	19	19
June	16	16
July	19	19
August	14	14
September	14	14
October	17	17
November	11	11
December	16	16
2023		
January	7	7
February	1	1
March	9	9
April	10	10
May	10	10
June	13	13
July	9	9
August	12	12
September	12	12
October	20	20
November	20	20
December	19	19

10.0 SITE PROGRESS PHOTO

10.1 December 2023 Site Photos



Front view elevation block work



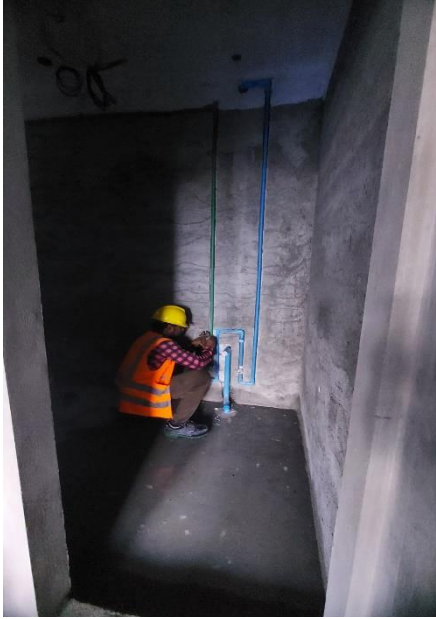
3rd floor Block work in balcony area



3rd floor putty work continuous



4th floor balcony plaster work



3rd floor plumbing work



3rd floor wiring work completed



10th floor plastering work continuous



11th floor block work continuous



Safety Net installation



Safety Net Installation



12th floor kicker concrete



11th floor kicker concrete



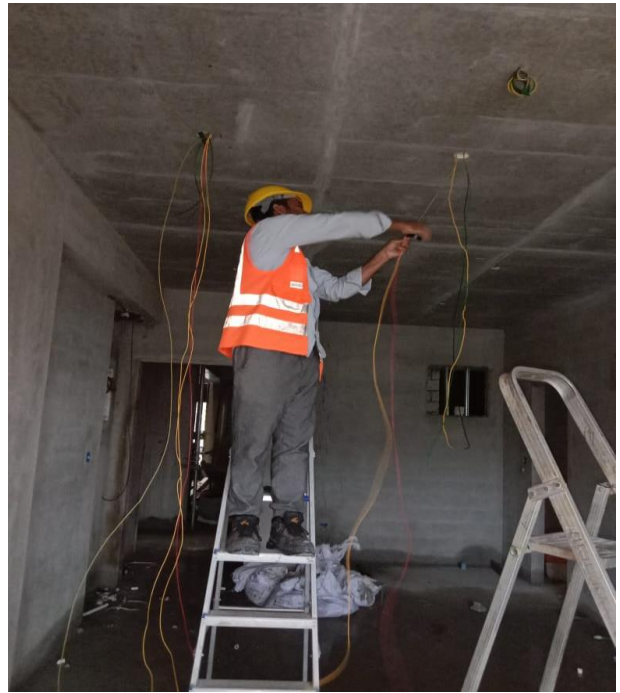
12th floor block work



12th floor block work



Scaffolding work for exterior plastering



4th floor wiring work continuous

PREPARED AND SUBMITTED BY GLUT INVESTMENTS PVT. LTD.

Prepared By:

Anandaraj
Civil Engineer (Glut)

Checked By:

Mohammed Shamin
Project Consultant