

REPORT NO: CRVW S1-3/2024/12

# PROJECT PROGRESS REPORT

DECEMBER 2024



**DEVELOPER:**



SAS e GLUT JV Pvt Ltd

**CONTRACTOR:**



**GLUT Investments**  
private limited

**PROJECT TITLE:** MIXED USE RESIDENTIAL COMPLEX AT HULHUMALE (THE CREEK VIEW)  
**DEVELOPER:** SASe GLUT JV PVT. LTD.  
**CONTRACTOR:** GLUT INVESTMENTS PVT. LTD.  
**LOCATION:** LOT NO: S1-3, LOT: 11445 HULHUMALE', MALDIVES

**PROJECT BREIF:**

The Creek View at Hulhumale Phase-1 is a pristine, spacious condominium project brought to you by the company SASe Glut Joint-venture Private Limited. The development is located at Lot 11445, Kuredhimaa Hingun overseeing the creek separating phase I and phase II of Hulhumale'.

The building comprises 114 apartments with 2 room, 3 room and 4 room units, each carefully designed to ensure the separation of spaces with special attention given to privacy and offer a homely feeling. Each apartment has a mini backyard with access from the kitchen. The kitchens are designed as enclosed spaces separated by masonry and glass partitions.

The apartment units are designed to make the most of natural air and light ventilation with floor to ceiling high windows. These large windows are also placed with an offset from the periphery to prevent direct sun and rain exposure. As many prefer to shape every element of their home environment, carefully choosing their furniture, curtain & paint, we find it best to engage prospective tenants during the interior design process. Those looking to occupy the new home hassle-free have the option to choose from fully fitted, furnished units that come in a different configuration of colour, style & décor.

The access to the residential units is well separated from the commercial area on the ground and the first floor to ensure privacy and safety to tenants. In addition, the entrance lobby is designed with a waiting & meeting area for visitors, limiting visitors' access to apartment floors.

Parking is arranged at the basement, ground and first floor with the basement exclusively for car parking. Amenities such as the pool and playgrounds are at ground level. At the same time, all utility services are located at the service lobby to avoid direct contact with any service team member. A separate service elevator will be allocated for the use of the service team for transporting furniture items and trash bins.

## 1.0 PROJECT PROGRESS REPORT BREIF

- 1.1 All permits and project documentation requirements are submitted and process accordingly.
- 1.2 Drawings and details are submitted and approved.
- 1.3 All land concern and preparation are addressed in coordinated according to the local government requirements.
- 1.4 All necessary activities and preparation are in progress.

## 2.0 CURRENT STATUS

### 2.1 Materials and Equipment's Procurement

#### 2.1.1 Material and Equipment Received

Cement, Sand, Aggregates, Pipes, Blocks, Tiles, SPC, Putty, Paint, Wire, U profile, Ceiling material, Aluminium door and windows, Lift, WPC, Fan, Switches, MCB and Sanitary items

### 2.2 Time Extension has been granted by HDC up to 31<sup>st</sup> JULY 2025

### 2.3 Project Progress Meeting by Urbanco

#### 2.3.1 No meeting

### 2.4 Site Coordination Meeting with Consultants

#### 2.4.1 Date: 2<sup>nd</sup> Dec 24, 14<sup>th</sup> Dec 24,

### 2.5 Site Coordination Meeting with Sase – Glut

#### 2.5.1 Date: 10<sup>th</sup> Dec 24, 15<sup>th</sup> Dec 24, 19<sup>th</sup> Dec 24, 21<sup>st</sup> Dec 24, 23<sup>rd</sup> Dec 24 and 25<sup>th</sup> Dec 24.

### 2.6 Issue for Construction Drawing

#### 2.6.1 Detail drawings

##### 2.6.1.1 Landscaping, Boundary wall, swimming pool Drawings – Are Pending

#### 2.6.2 Architectural drawings

##### 2.6.2.1 Architectural Floor Plans – Partial Received

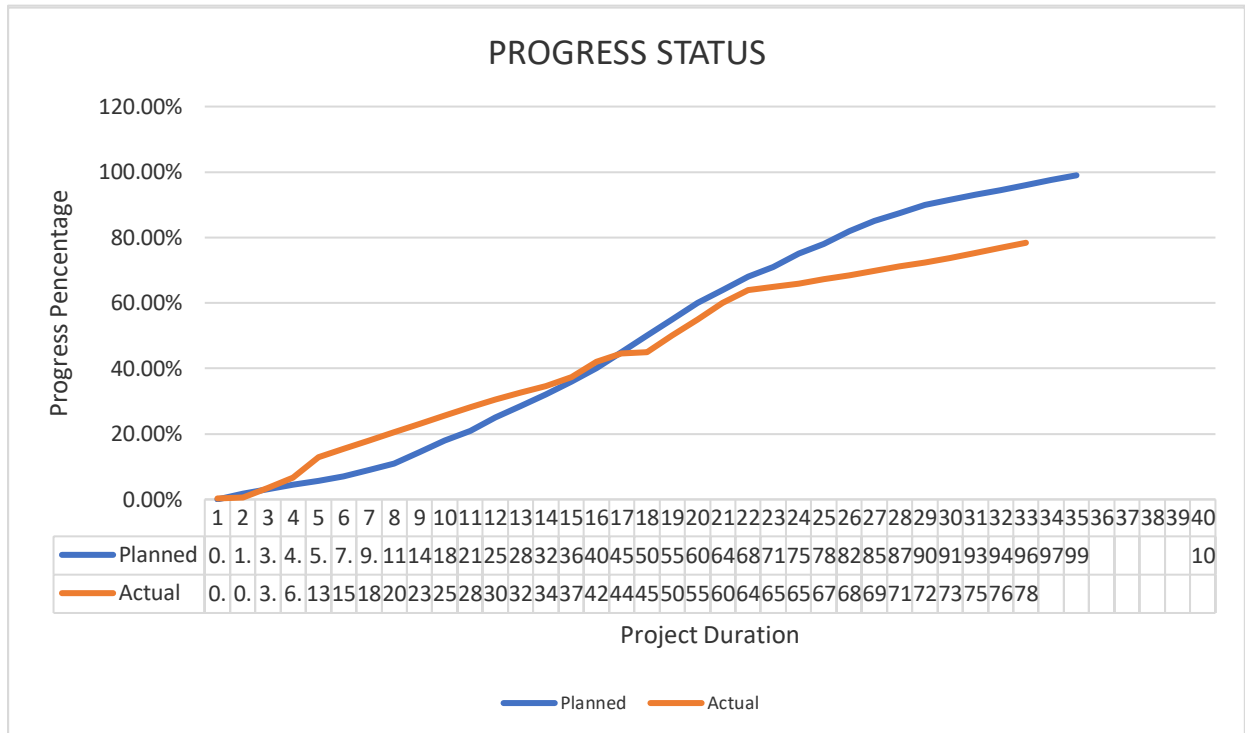
#### 2.6.3 Electrical drawings

##### 2.6.3.1 Electrical Floor Plans – Partial Received

#### 2.6.4 Plumbing drawings

##### 2.6.4.1 Plumbing Floor Plans – Partial Received

### 2.7 Project Status



### 3.0 ONGOING/COMPLETED WORKS

- 3.1 13<sup>th</sup> floor K,L,M,N block work completed and plastering 95% completed.
- 3.2 2<sup>nd</sup> and 3<sup>rd</sup> floor primer and emulsion painting work continuous.
- 3.3 Staircase air well external texture painting continuous.
- 3.4 Tile work completed 2<sup>nd</sup> to 11<sup>th</sup> floor completed 12<sup>th</sup> floor continuous.
- 3.5 False ceiling work continuous 2<sup>nd</sup> to 12<sup>th</sup> floor common area continuous.
- 3.6 3<sup>rd</sup> to 11<sup>th</sup> floor screeding work continuous.
- 3.7 Safety net installation and scaffolding for all round area.
- 3.8 Fresh water line up to 12<sup>th</sup> floor and common area 10<sup>th</sup> floor complete.
- 3.9 Floor wiring 12<sup>th</sup> floor continuous, Ceiling wiring 12<sup>th</sup> floor continuous.

### 4.0 UPCOMING WORKS FOR NEXT MONTH

- 4.1 Apartment screeding 2<sup>nd</sup> to 12<sup>th</sup> floor will complete.
- 4.2 External putty and painting work will continuous.
- 4.3 Penthouse putty and painting work will start.
- 4.4 Penthouse toilet floor tile and wall tile work will continuous.
- 4.5 Up to 12<sup>th</sup> floor wiring will complete and penthouse will start.
- 4.6 Common area plumbing work up to 12<sup>th</sup> floor will complete.
- 4.7 All toilet and balcony water proofing up to 12<sup>th</sup> floor will complete.
- 4.8 4<sup>th</sup> floor SPC, kitchen tile, doors and windows fixing will continuous.
- 4.9 Safety net installation and internal perimeter scaffolding installation

## **5.0 ACCIDENT REPORT**

5.1 No accident was reported

## **6.0 CHALLENGES FACED DURING CONSTRUCTION / IMPLEMENTATION**

6.1 Weather disruption due to heavy wind and rain (see weather chart–9.0)

## **7.0 INSTRUCTION GIVEN ON SITE**

7.1 Minutes of meeting dated: 7<sup>th</sup> Dec 24, 14<sup>th</sup> Dec 24, 21<sup>st</sup> Dec 24, 28<sup>th</sup> Dec 24.

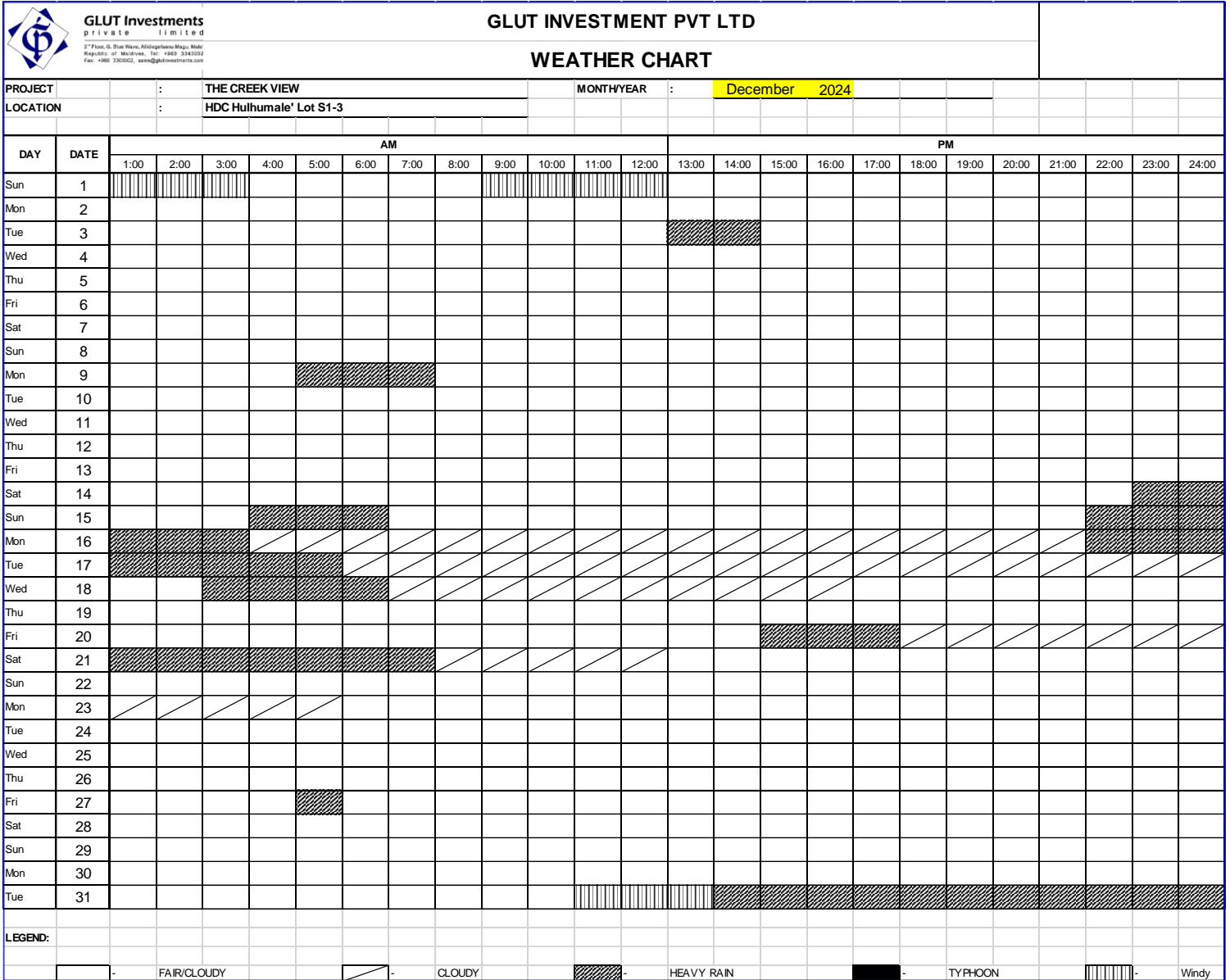
## **8.0 DOCUMENTATION OF APPROVED MATERIALS**

8.1 Material submittal Report

8.1.1 No material submittal

## **9.0 WEATHER CHART**

9.1 DECEMBER 2024



<b>2022</b>		
<b>Months</b>	<b>Rainy Days</b>	<b>Days to Claim</b>
April	11	11
May	19	19
June	16	16
July	19	19
August	14	14
September	14	14
October	17	17
November	11	11
December	16	16
<b>2023</b>		
January	7	7
February	1	1
March	9	9
April	10	10
May	10	10
June	13	13
July	9	9
August	12	12
September	12	12
October	20	20
November	20	20
December	19	19
<b>2024</b>		
January	5	5
February	8	8
March	4	4
April	8	8
May	20	20
June	9	9
July	16	16
August	16	16
September	16	16
October	13	13
November	17	17
December	11	11



**10.0 SITE PROGRESS PHOTOS**

10.1 December 2024 Site Photos



Penthouse putty work



Roofing sheet work

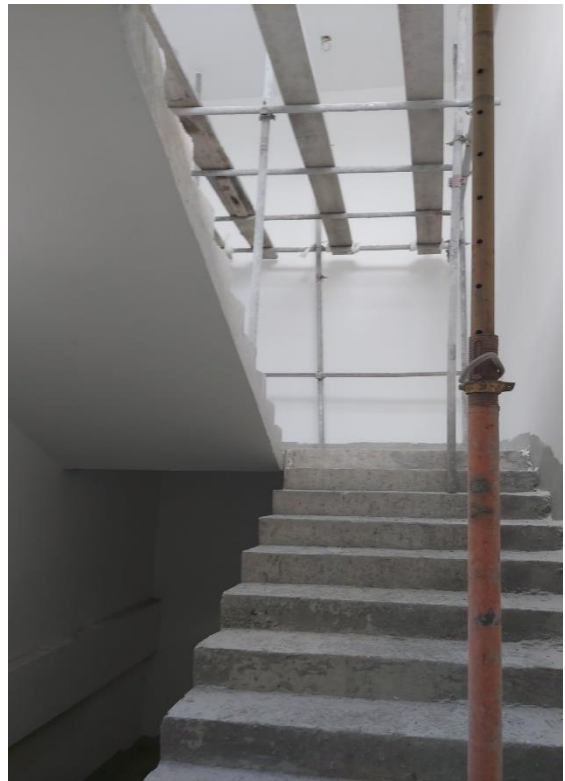


Penthouse internal plastering





Penthouse external texture painting



Penthouse staircase area putty work



Big air well area external texture painting



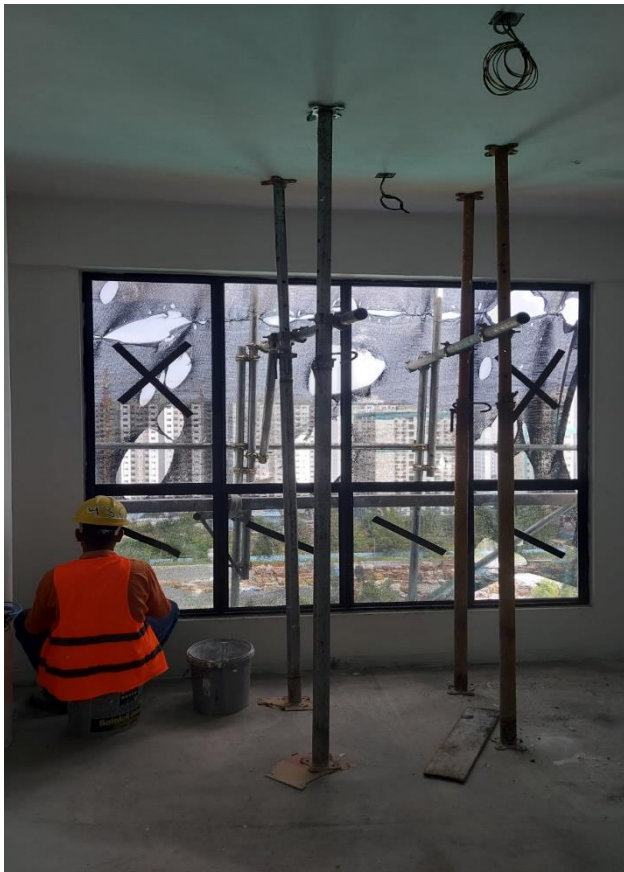
Lift work



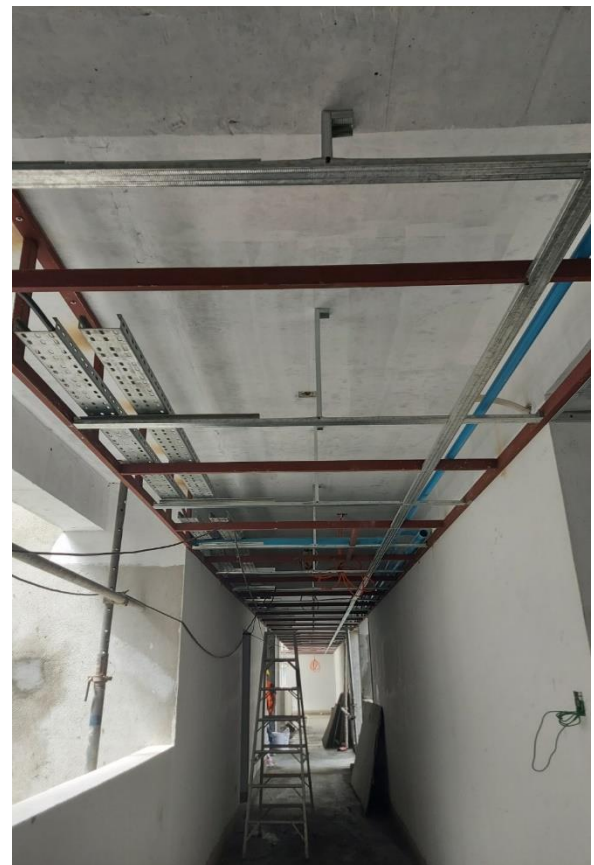
Safety Net installation



Safety Net Installation



12<sup>th</sup> floor putty and window fixing

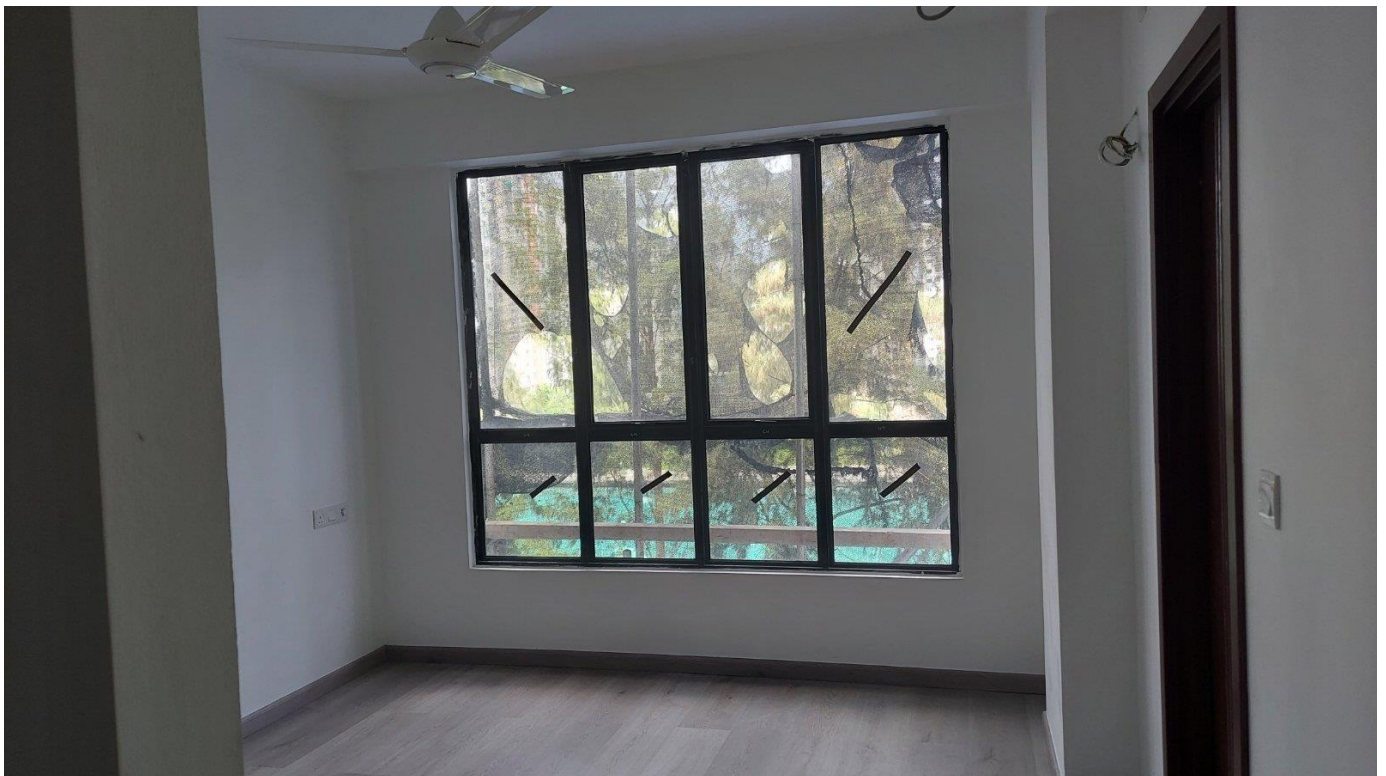


Common area ceiling frame work





12<sup>th</sup> floor Putty work



3<sup>rd</sup> floor doors, windows and fan fixing



3<sup>rd</sup> floor fan, ceiling, putty light and emulsion work



3<sup>rd</sup> floor SPC and Tile work





12<sup>th</sup> floor windows fixing



12<sup>th</sup> floor apartment ceiling frame work



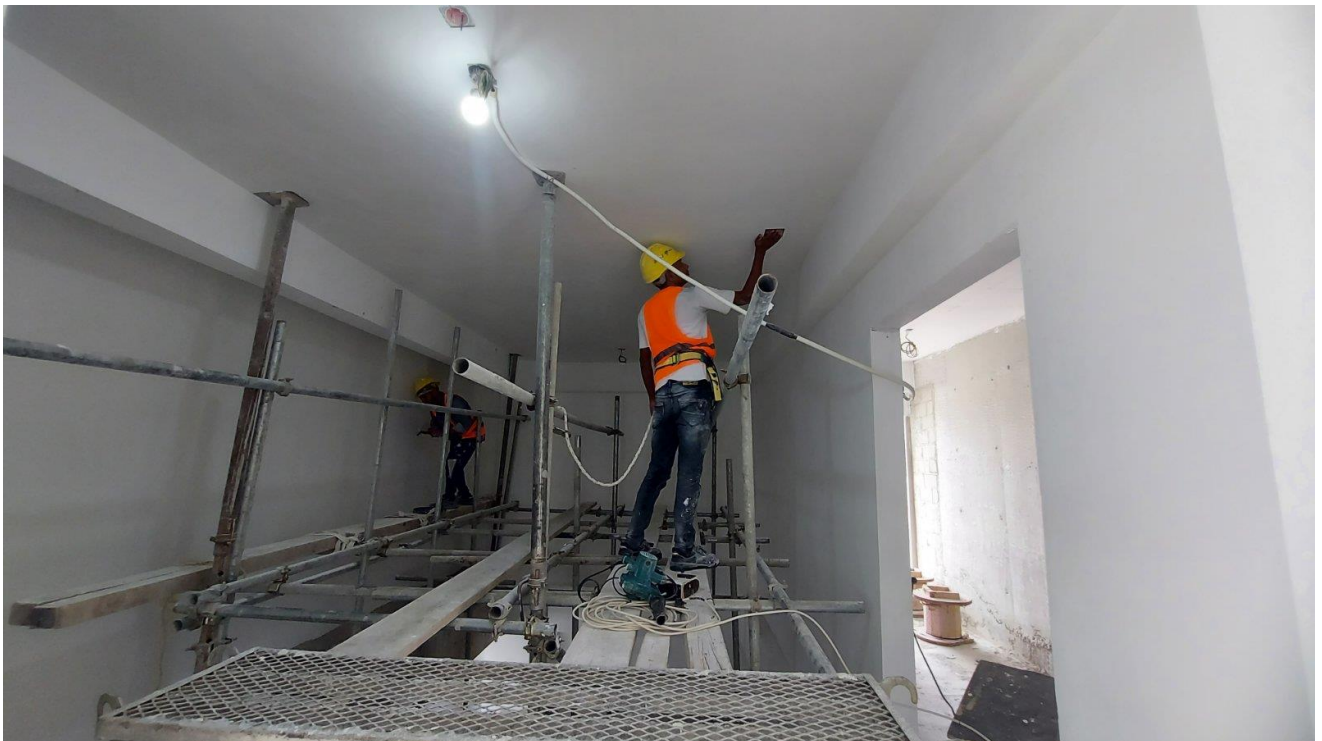
11<sup>th</sup> floor Apartment ceiling board fixing



11<sup>th</sup> floor common area cable tray fixing



3<sup>rd</sup> floor apartment door fixing



12<sup>th</sup> floor stair case area putty and painting





12<sup>th</sup> floor fresh water line



Lift frame work



3<sup>rd</sup> floor sanitary ware fixing



Maid room wash basin



11<sup>th</sup> floor common area and apartment screeding work

PREPARED AND SUBMITTED BY GLUT INVESTMENTS PVT. LTD.

**Prepared By:**

Anandaraj  
Civil Engineer (Glut)

**Checked By:**

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Project Consultant